



## SIESTA KEY

### RETAIL CRITERIA MANUAL **LITE**

NOTE: This is an abridged version of the Tenant Criteria Manual to be used as a quick guideline and not to be used for construction. The full Tenant Criteria Manual is found on [WestfieldTenantCoordination.com](http://WestfieldTenantCoordination.com)

Westfield Siesta Key  
3501 S Tamiami Trail  
Sarasota, FL 34239

Westfield Tenant Coordination  
Jennifer Cristal  
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Office Phone: 954.375.0199  
Mobile Phone: 954.802.4829

Project location

The following is provided as a general guide only and does not release the Tenant from complying with all applicable codes and regulations, as required by jurisdictional authorities. It shall be the Tenant's responsibility to determine the edition of the above code or codes which are applicable (including supplements and state amendments) as codes are frequently revised and updated.

Existing Mall Building: TYPE 2-B Fully Sprinklered

Sprinklered: Yes

Occupancy Load: Persons

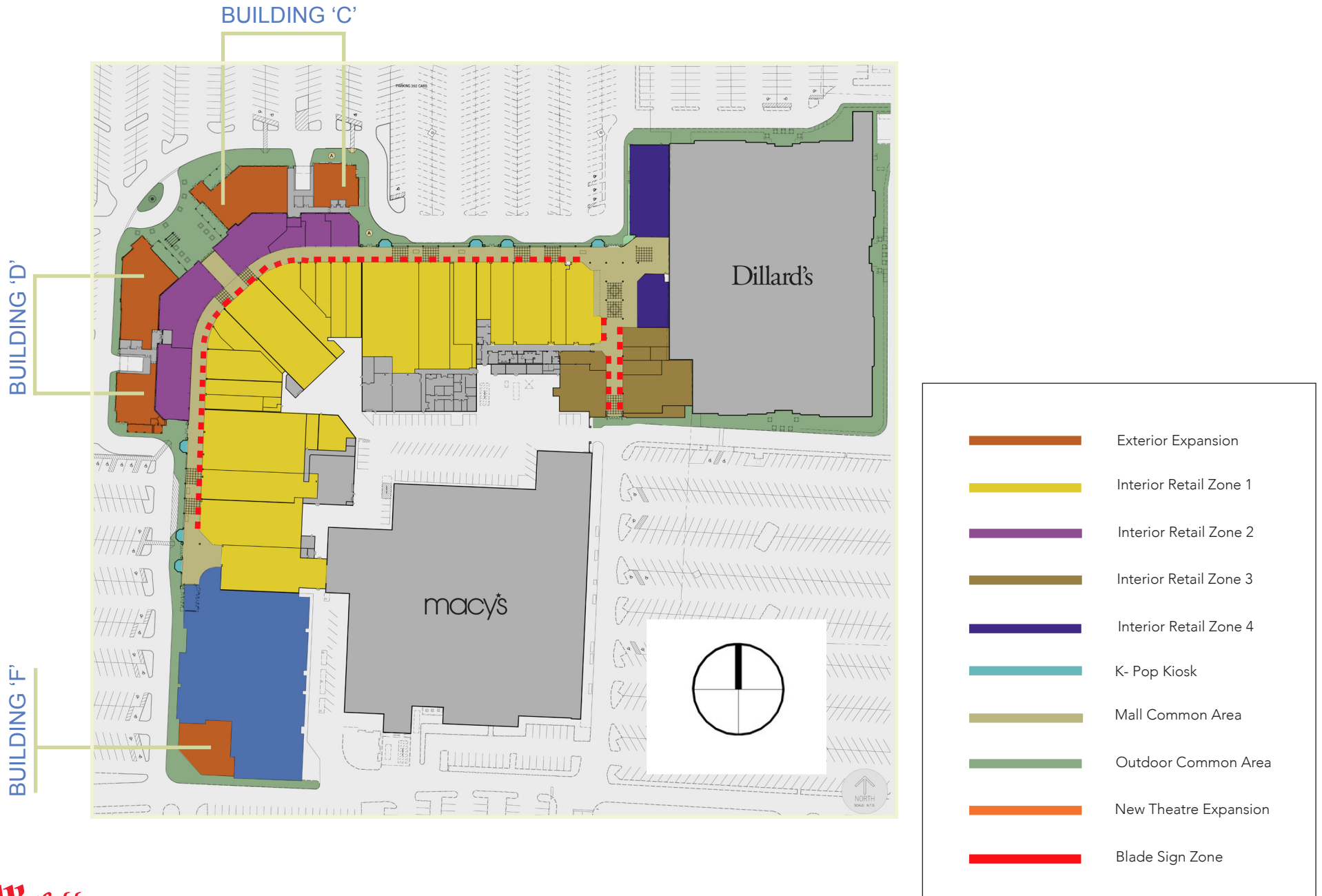
Required Exits:	Required/Provided
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Building:	2006 International Building Code
Mechanical:	2006 International Mechanical Code
Plumbing:	2004 State of Illinois Plumbing Code
Electrical:	2008 International Electric Code
Fire:	2006 International Fire Code
Accessibility:	2003 NFPA 101 Illinois Accessibility Code
Energy:	2006 International Energy Conservation Code

It shall be the Tenant's responsibility to determine that edition of the above codes which are applicable (including supplements and state amendments) as codes are frequently revised and updated.

The most stringent requirement of the above-mentioned applicable codes shall govern each increment of the work.

# ZONING PLAN\_LEVEL ONE

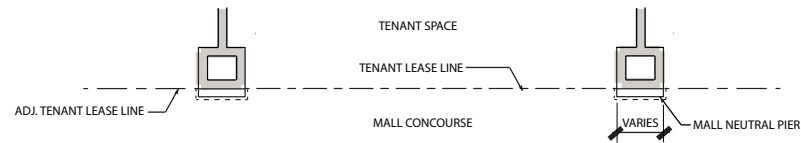


# STOREFRONT: ZONE 1 DETAILS



Storefront Elevation

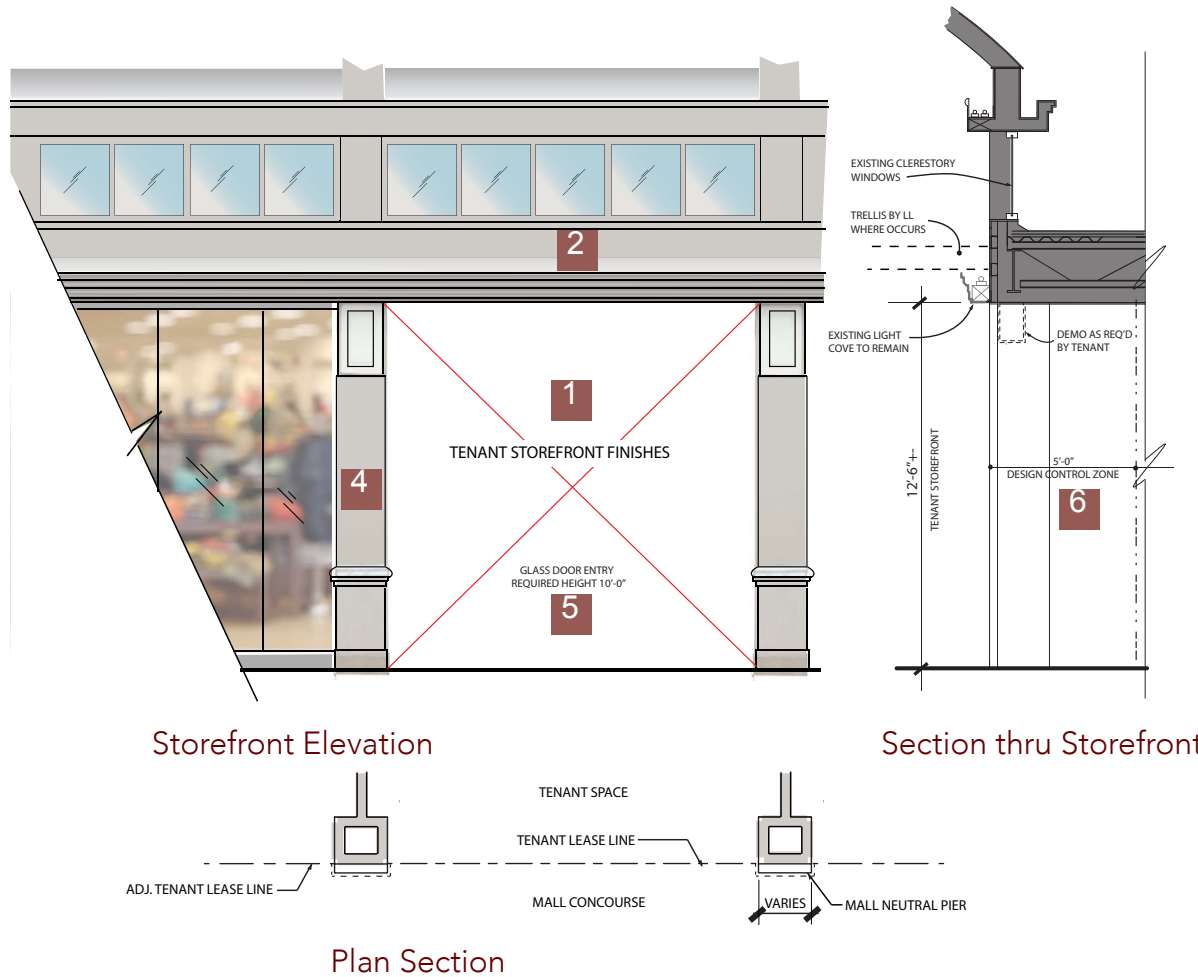
Section thru Storefront



Plan Section

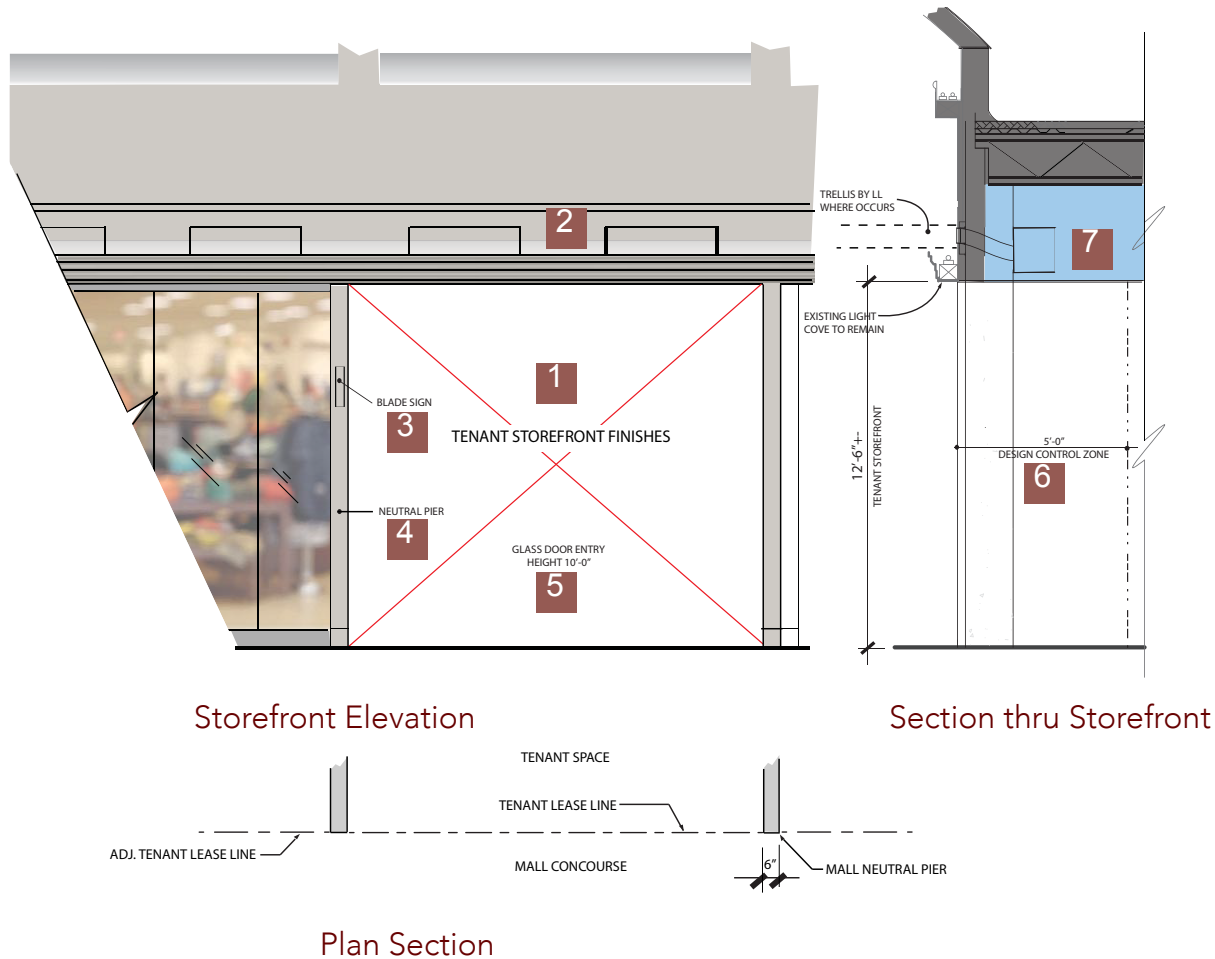
Note: Drawings not to scale

# STOREFRONT: ZONE 2 DETAILS



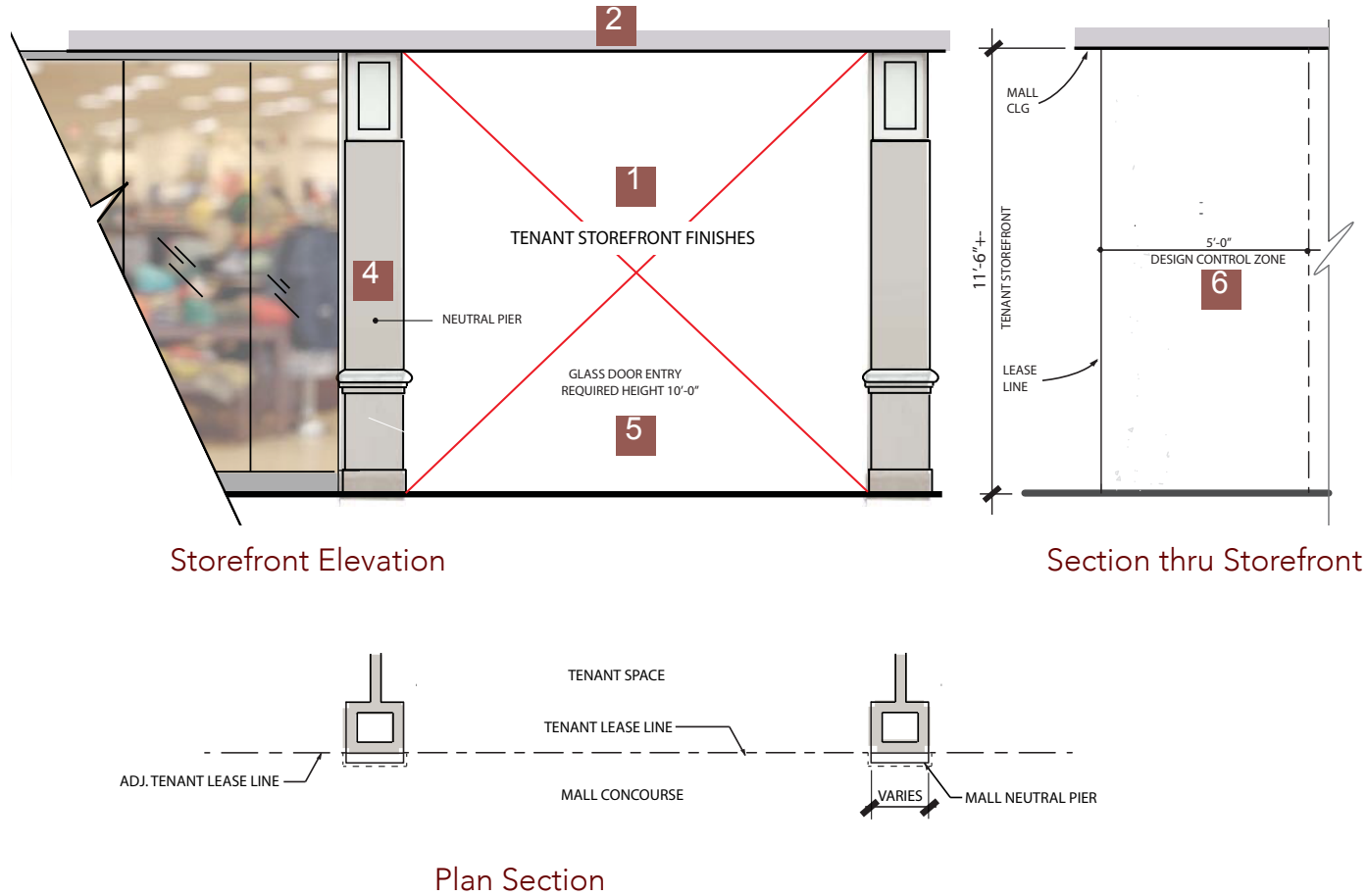
Note: Drawings not to scale

# STOREFRONT: ZONE 3 DETAILS



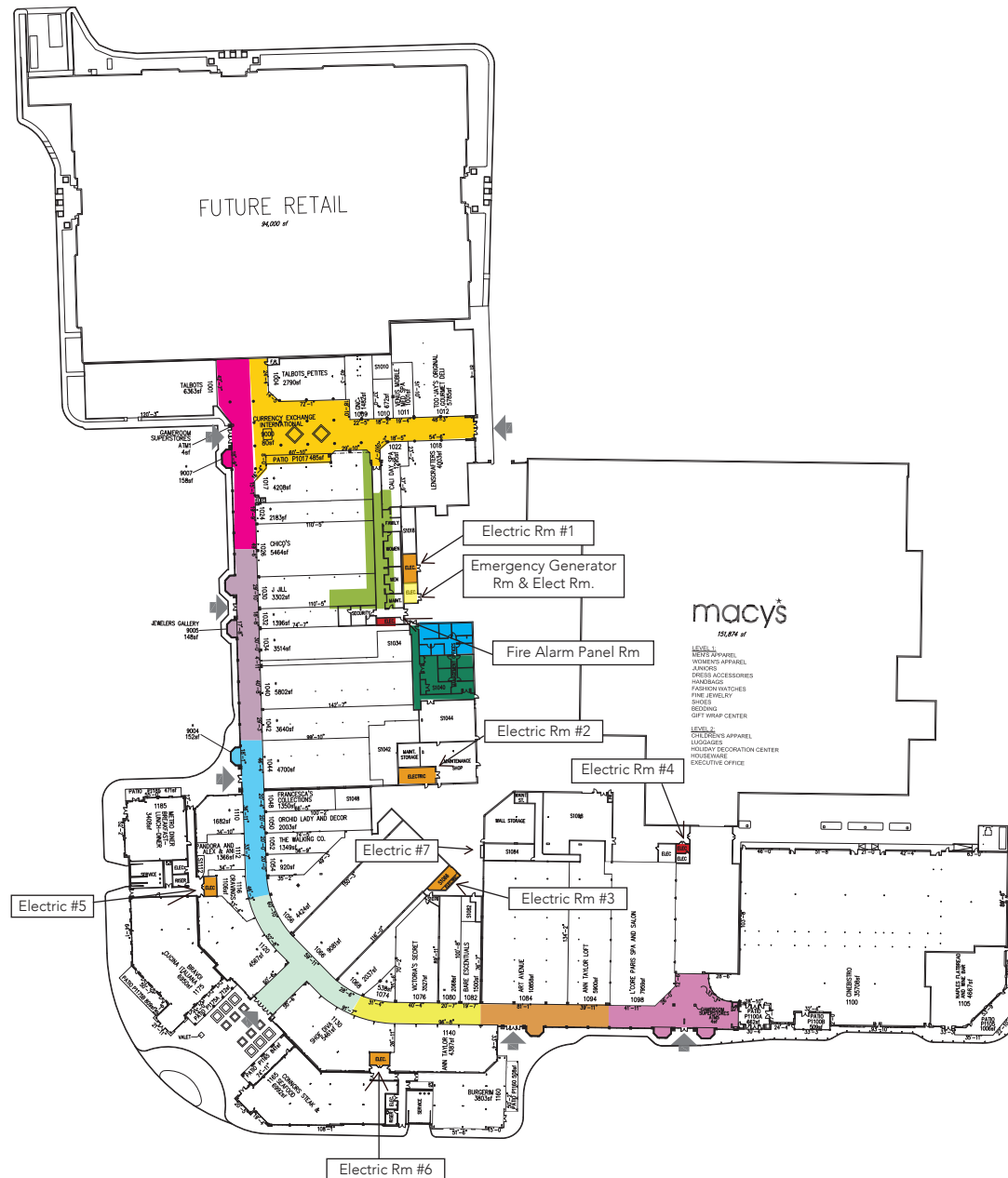
Note: Drawings not to scale

# STOREFRONT: ZONE 4 DETAILS



Note: Drawings not to scale

# MEP MAPS: HVAC & ELECTRICAL



## HVAC Legend

<span style="display:inline-block; width:20px; height:10px; background-color:blue;"></span>	RTU #2	25 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:orange;"></span>	RTU #3	25 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:green;"></span>	RTU #4	25 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:purple;"></span>	RTU #5	17 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:red;"></span>	RTU #6	25 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:yellow;"></span>	RTU #7	25 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue;"></span>	RTU #8	25 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:lightgreen;"></span>	RTU #9	25 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:lightyellow;"></span>	RTU #9A	25 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue;"></span>	RTU #10	5 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue;"></span>	RTU #11	5 Ton
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue;"></span>	RTU #12	10 Ton

## Electrical Legend

Note: Tenant electrical service is 120/208V. Each Tenant is separately metered.

# SUBMITTAL PROCEDURES:

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## HOW TO SUBMIT:

All drawings shall be submitted electronically at [www.westfieldtenantcoordination.com](http://www.westfieldtenantcoordination.com). A welcome letter with password access will be sent to the Tenant Contact (as listed in the lease documentation). If you have any trouble gaining access to the website contact one of the Westfield Tenant Coordination Team.

## WHAT TO SUBMIT:

All drawing submittal must be prepared by an architect or engineer registered with the State of New Jersey. It is the Tenant's sole responsibility to comply with all laws, codes, and regulations as may apply.

Drawing sheet format: 24"x36"

Document format: a single Adobe PDF containing all sheets, in order.

Plans must be submitted to Landlord for approval in the following three phases:

1. **PRELIMINARY SUBMITTAL**  
Design Intent Package with minimum:  
Color Rendering of Storefront
  - Material Sample Board
  - Floor Fixture Plan & RCP
  - Section at Storefront
  - Concept Inspirational Images
  - Photos of existing Concept (if available)
2. **FINAL SUBMITTAL**  
100% Set Submittal - Full Construction set as outlined in the following pages.
3. **SIGN SHOP DRAWINGS**  
Shop drawing set including all signs & graphics visible to the public.

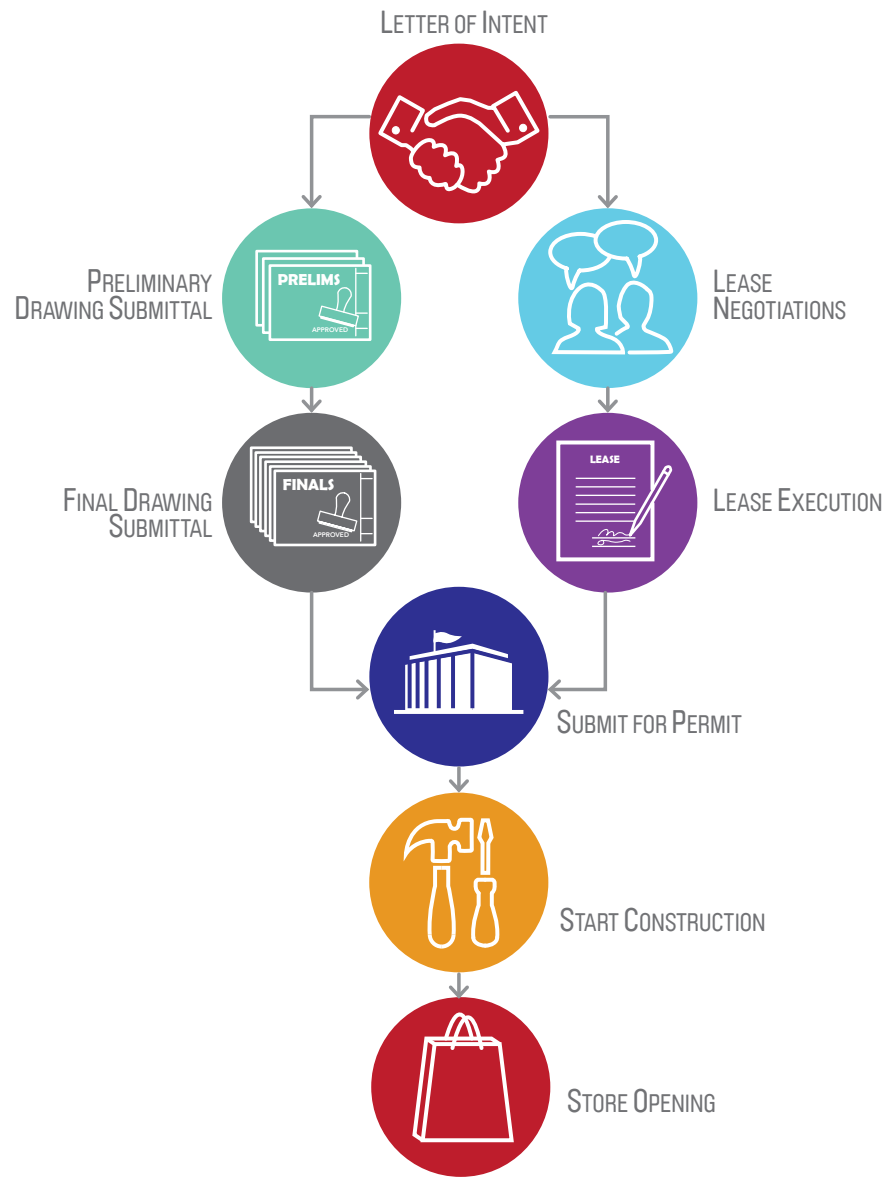
## LANDLORD APPROVAL:

Landlord's approval of the construction documents is for compliance with this criteria. By reviewing these drawings, the Landlord, its agent(s) and consultant(s) assume no responsibility for code compliance (including ADA requirements), dimensional accuracy, engineering accuracy or completeness of these drawings for construction purpose.

Landlord's Design Manager reserves the right to use discretion to assure all stores conform to the criteria and have a strong visual concept, use good design principles, and is harmonious with the surrounding tenants & base building.

Tenant & GC must have the stamped Landlord Approved drawing set onsite at all times during construction.

## PROJECT CRITICAL PATH:



## CONSTRUCTION:

- Tenant's General Contractor is required to contact Westfield's Mall Management Office (Mall Facilities Manager) and arrange a Preconstruction Meeting with him/her and Westfield's On Site Tenant Coordinator to go over all construction and installation requirements when working at the mall.

This meeting will discuss the following items, but not limited to:

- Building Permits
- Contractor's Fees
- All insurance requirements
- All bonds
- Access to Project
- Parking
- All Deliveries Schedules and Designated Locations
- Service Elevators Requirements
- Security Requirements
- Safety Requirements
- Construction Schedules
- Barricade Requirements
- Construction Utilities
- Required Landlord Approved Drawings
- Any Construction Restrictions