



## PLAZA BONITA

### RETAIL CRITERIA MANUAL **LITE**

NOTE: This is an abridged version of the Tenant Criteria Manual to be used as a quick guideline and not to be used for construction. The full Tenant Criteria Manual is found on [WestfieldTenantCoordination.com](http://WestfieldTenantCoordination.com)

## INLINE RETAIL CENTER:

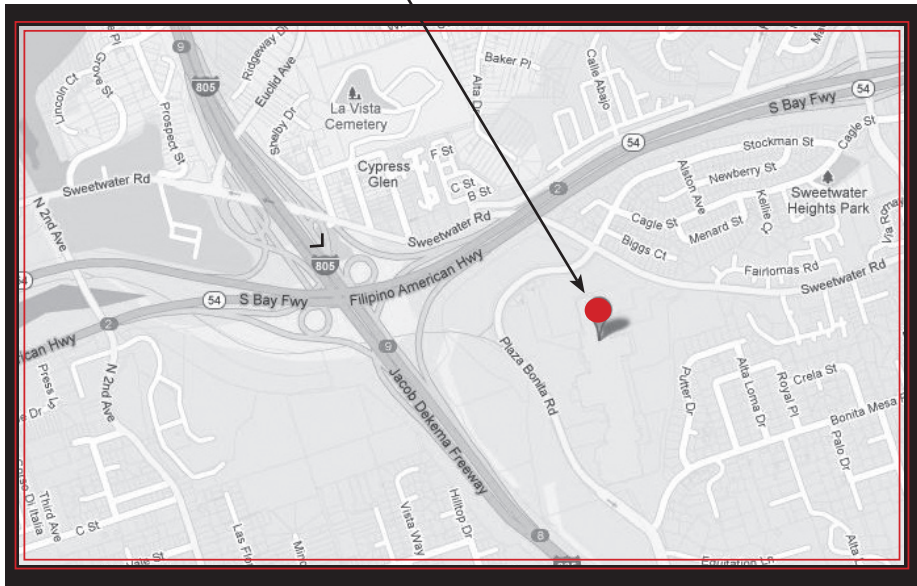
### Plaza Bonita

3030 Plaza Bonita Road #2075  
National City, CA 91950  
t. 619.267.2850  
f. 619.472.5652

### Westfield Tenant Coordination

Mission Valley Management Office  
C/O Tenant Coordination  
1640 Camino Del Rio North Ste #351  
San Diego, CA 92108  
t. 619.296.6375

Project location



## BASE BUILDING INFORMATION

The following is provided as a general guide only and does not release the Tenant from complying with all applicable codes and regulations, as required by jurisdictional authorities. It shall be the Tenant's responsibility to determine the edition of the above code or codes which are applicable (including supplements and state amendments) as codes are frequently revised and updated.

Construction Type:	See plans on following pages
Primary Occupancy:	Group M (Merchantile)
Foodcourt:	Group A2 (Assembly, 50-less <300,without storage
Restaurant:	Group A2 (Assembly, 50-less <300,without storage
Kitchen:	Group F-1
Office:	Group B
Storage:	Group S1

## CODE INFORMATION

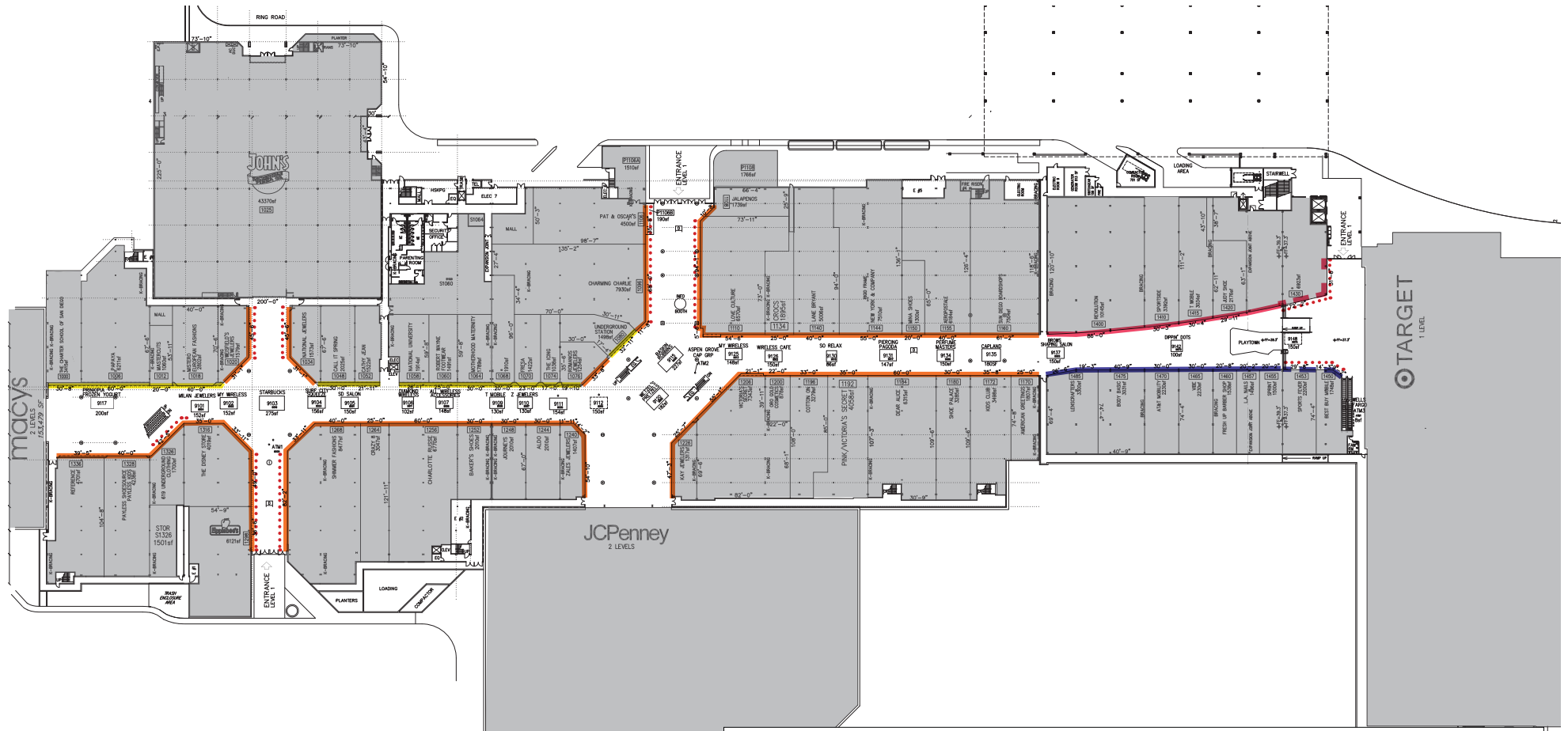
<b>Building:</b>	Most recent applicable code
<b>Mechanical:</b>	Most recent applicable code
<b>Plumbing:</b>	Most recent applicable code
<b>Electrical:</b>	Most recent applicable code
<b>Fire:</b>	Most recent applicable code
<b>Accessibility:</b>	Most recent applicable code
<b>Energy:</b>	Most recent applicable code

All Local Ordinances Having Jurisdiction.

It shall be the Tenant's responsibility to determine that edition of the above codes which are applicable (including supplements and state amendments) as codes are frequently revised and updated.

The most stringent requirement of the above-mentioned applicable codes shall govern each increment of the work.

# ZONING PLAN: LEVEL ONE



BLADE SIGN ZONE



+/- 13'-6" Storefront Ht

ZONE 1



+/- 13'-6" Storefront Ht

ZONE 2



+/- 14'-0" Storefront Ht

ZONE 3A



+/- 16'-0" Storefront Ht

ZONE 3B



+/- 14'-0" Storefront Ht

ZONE 4A



+/- 16'-0" Storefront Ht

ZONE 4B



+/- 13'-10" Storefront Ht

ZONE 6



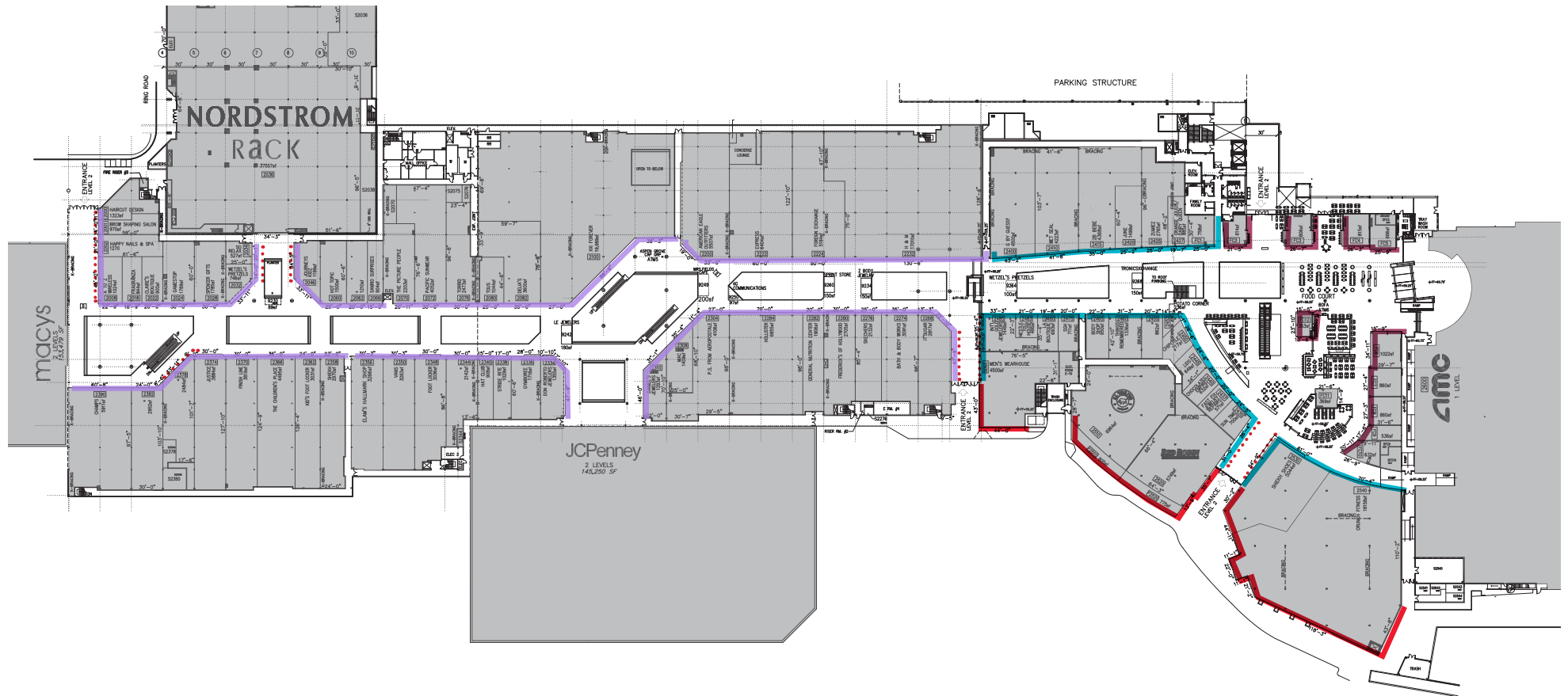
+/- 14'-0" Storefront Ht

ZONE 7



Foodcourt (Separate Cover)

# ZONING PLAN: LEVEL TWO



BLADE SIGN ZONE



ZONE 1

+/- 13'-6" Storefront Ht



ZONE 2

+/- 13'-6" Storefront Ht



ZONE 3A

+/- 14'-0" Storefront Ht



ZONE 3B

+/- 16'-0" Storefront Ht



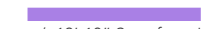
ZONE 4A

+/- 14'-0" Storefront Ht



ZONE 4B

+/- 16'-0" Storefront Ht



ZONE 6

+/- 13'-10" Storefront Ht



ZONE 7

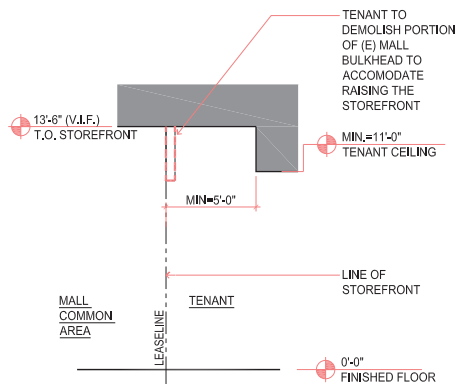
+/- 14'-0" Storefront Ht



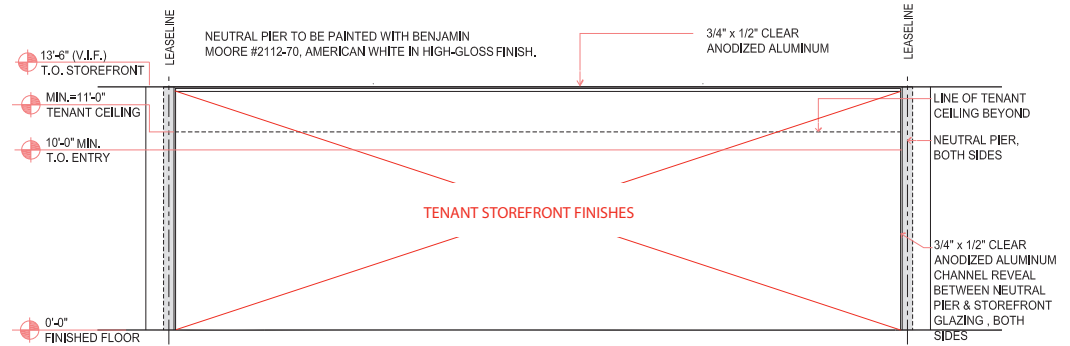
Foodcourt (Separate Cover)

# STOREFRONT: ZONE 1 DETAILS

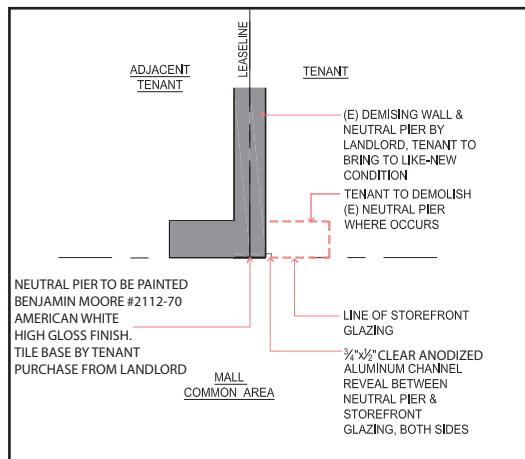
All work on this page by tenant except for the demising wall



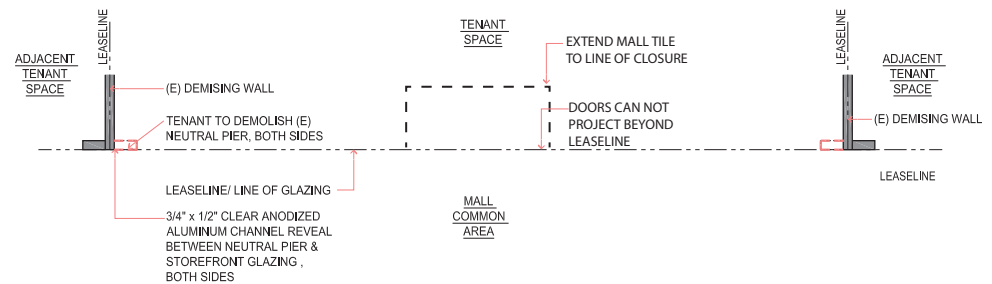
TYPICAL SECTION - ZONE 1



TYPICAL ELEVATION - ZONE 1



TYPICAL NEUTRAL PIER DETAIL - ZONE 1

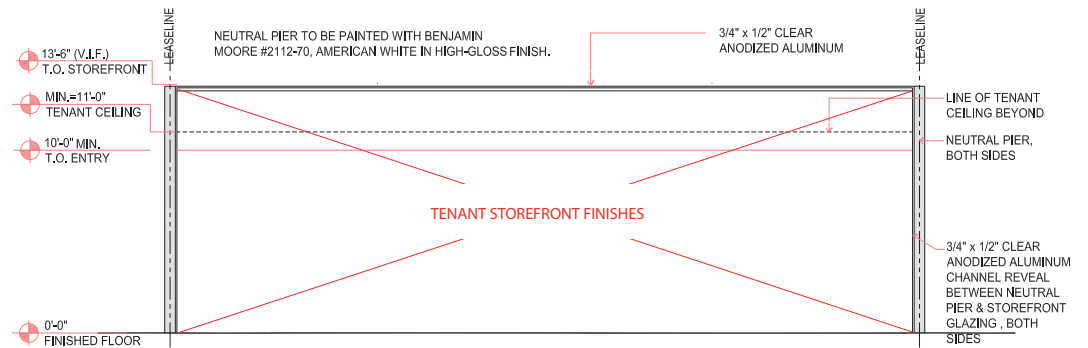
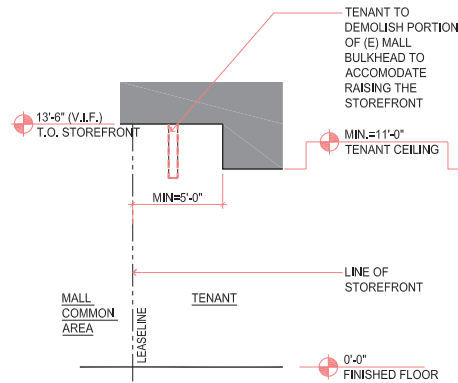


TYPICAL PLAN - ZONE 1

Note: Drawings not to scale

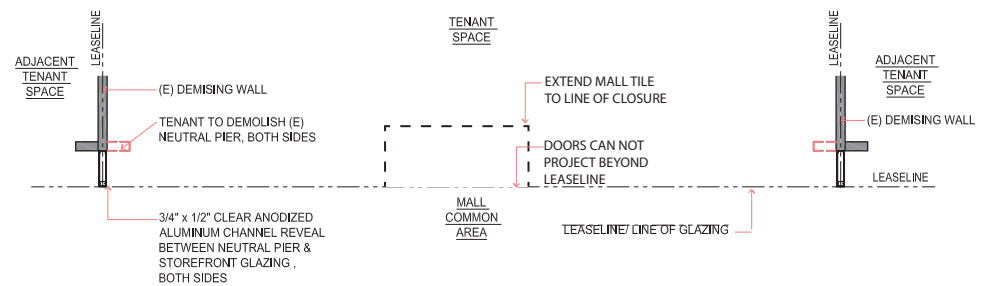
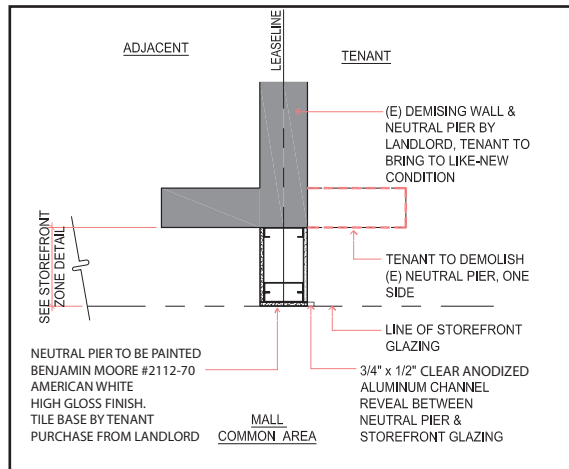
# STOREFRONT: ZONE 2 DETAILS

All work on this page by tenant except for the demising wall



TYPICAL SECTION - ZONE 2

TYPICAL ELEVATION - ZONE 2



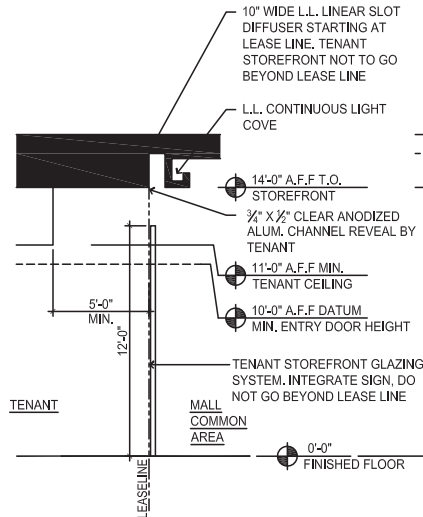
TYPICAL NEUTRAL PIER DETAIL - ZONE 2

TYPICAL PLAN - ZONE 2

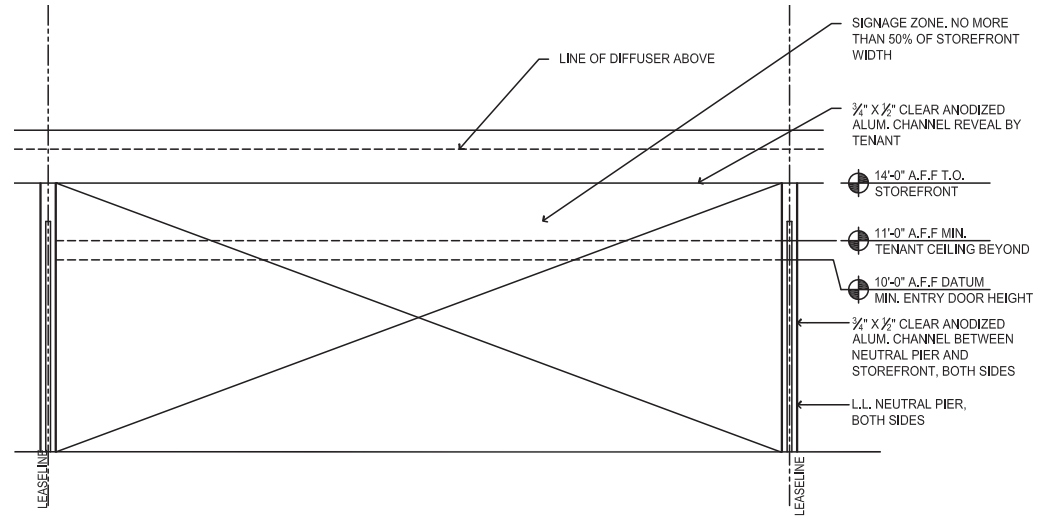
Note: Drawings not to scale

# STOREFRONT: ZONE 3A DETAILS

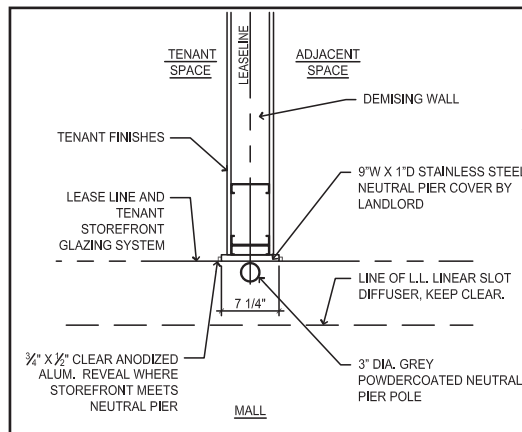
All work on this page by tenant except for the demising wall



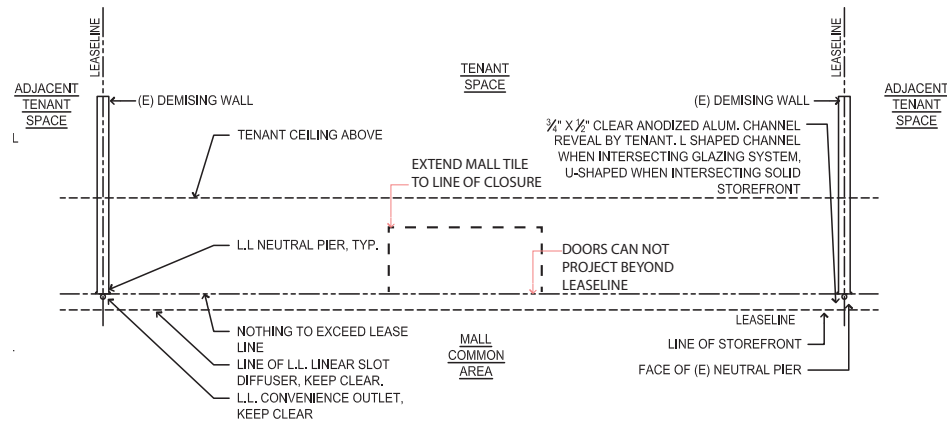
TYPICAL SECTION - ZONE 3A



TYPICAL ELEVATION - ZONE 3A



TYPICAL NEUTRAL PIER DETAIL - ZONE 3A

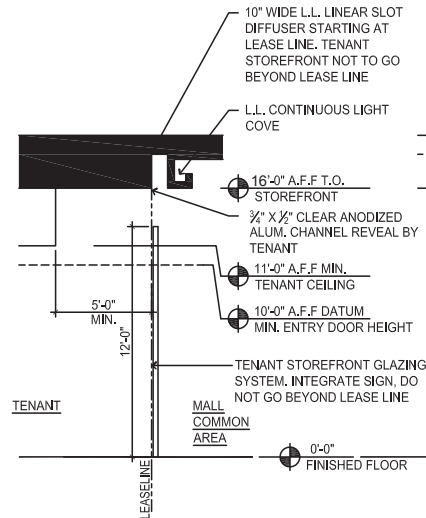


TYPICAL PLAN - ZONE 3A

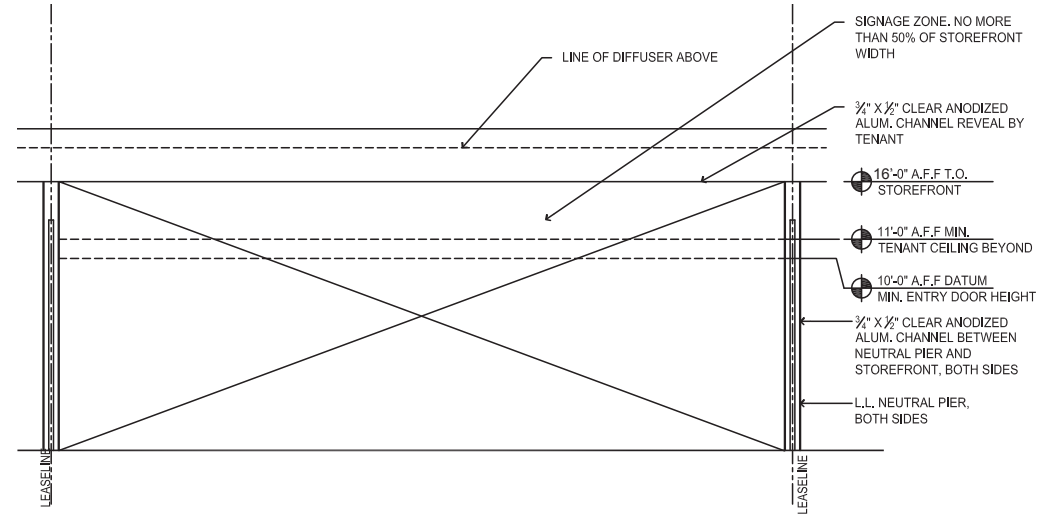
Note: Drawings not to scale

# STOREFRONT: ZONE 3B DETAILS

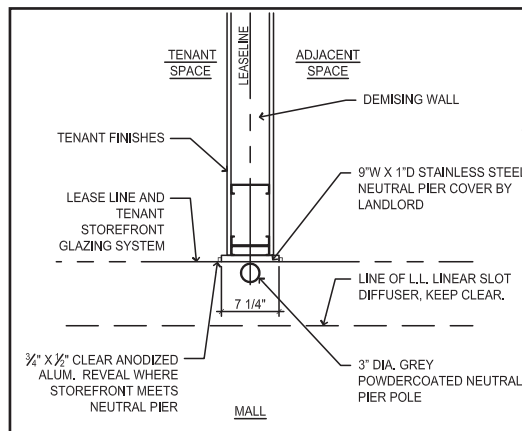
All work on this page by tenant except for the demising wall



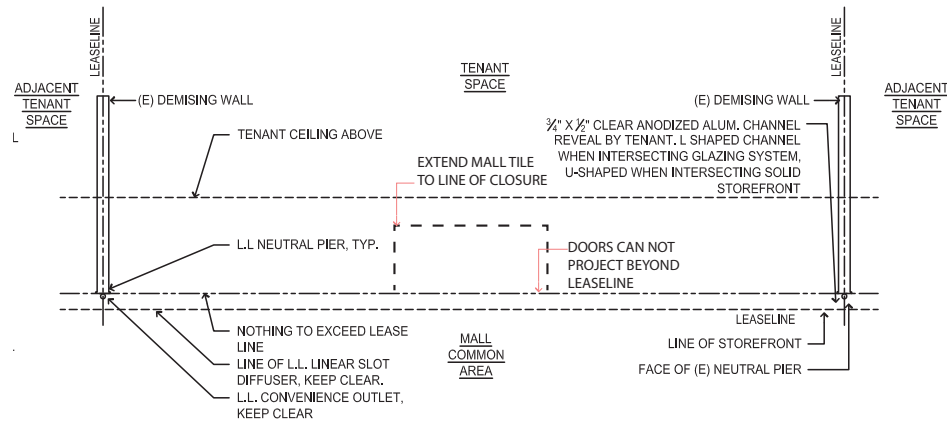
TYPICAL SECTION - ZONE 3B



TYPICAL ELEVATION - ZONE 3B



TYPICAL NEUTRAL PIER DETAIL - ZONE 3B

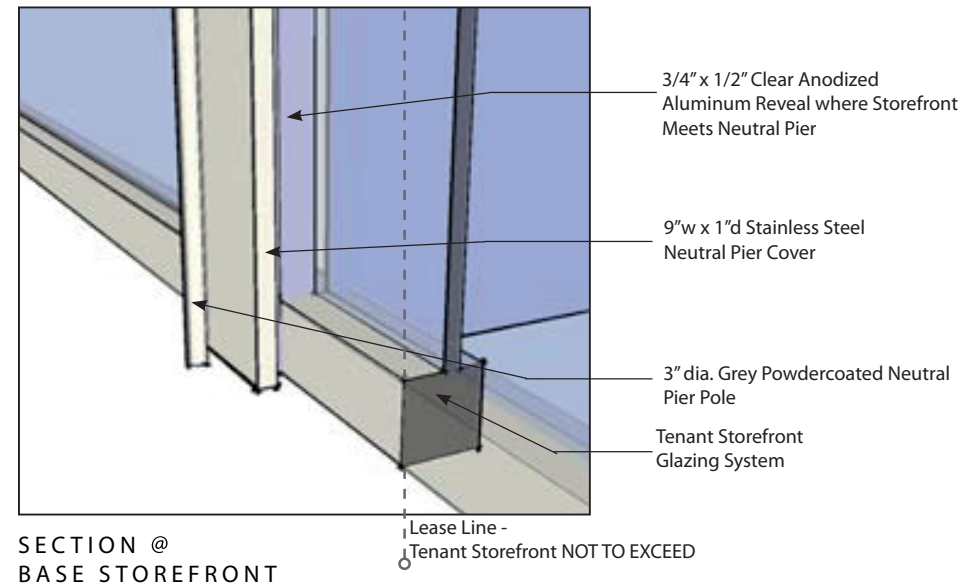
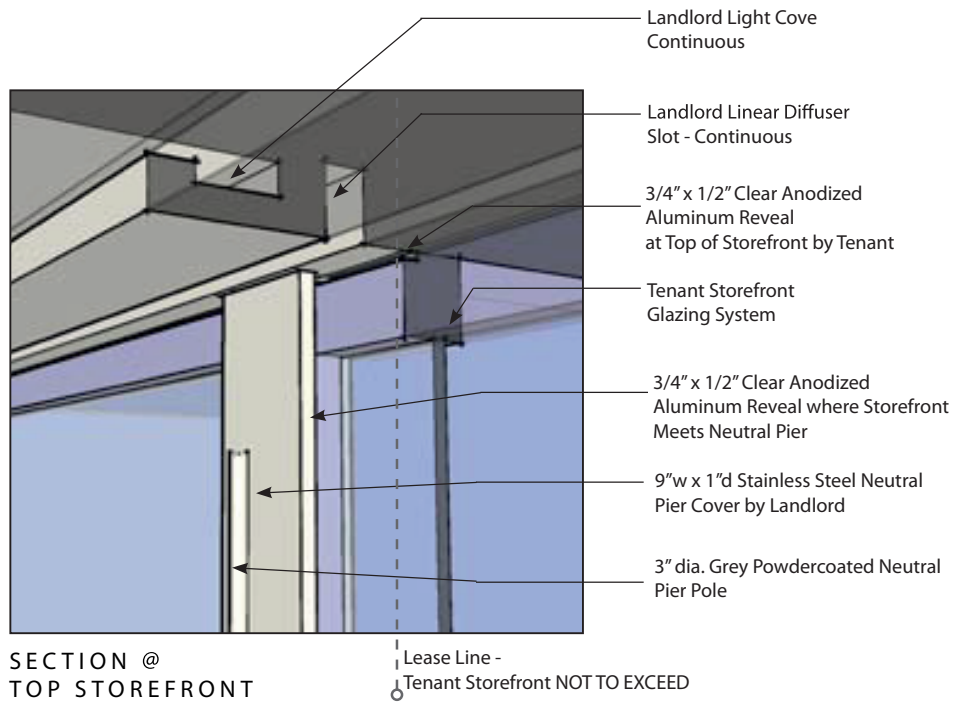


TYPICAL PLAN - ZONE 3B

Note: Drawings not to scale



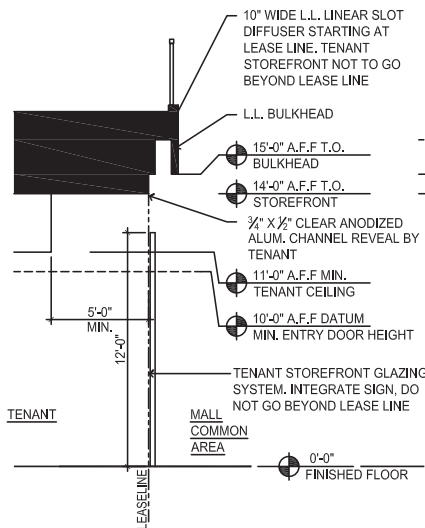
# STOREFRONT: ZONE 3A AND 3B DETAILS



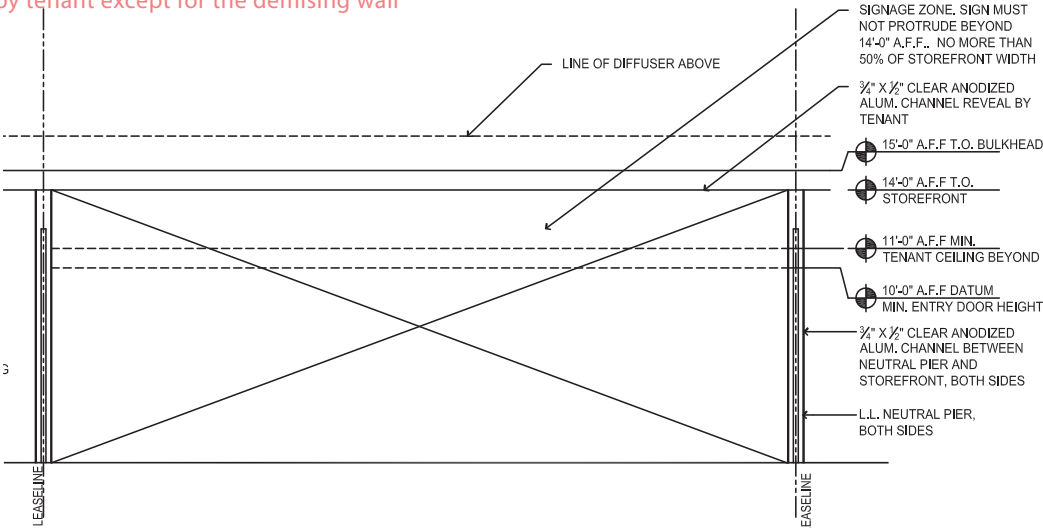
## TYPICAL NEUTRAL PIER DETAIL - ZONE 3

Note: Drawings not to scale

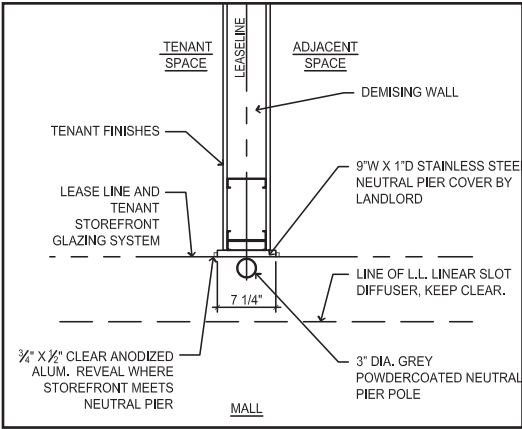
# STOREFRONT: ZONE 4A DETAILS



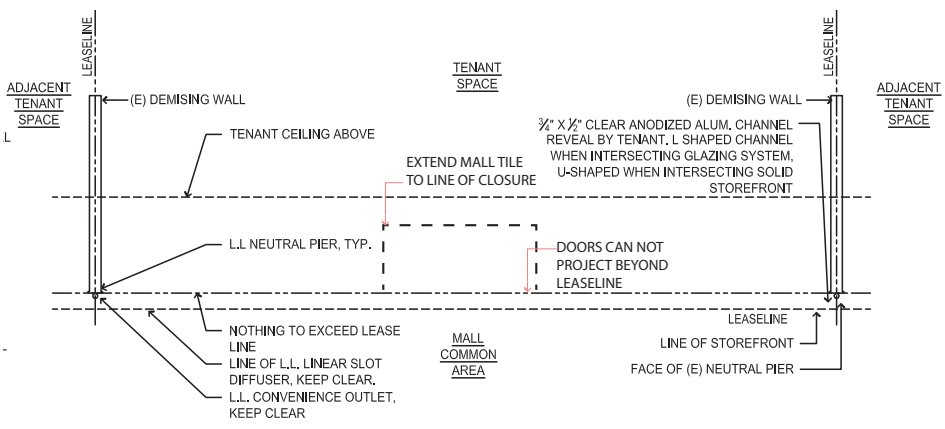
TYPICAL SECTION - ZONE 4A



TYPICAL ELEVATION - ZONE 4A



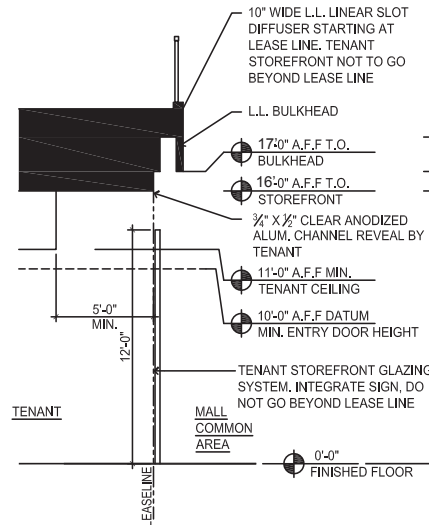
TYPICAL NEUTRAL PIER DETAIL - ZONE 4A



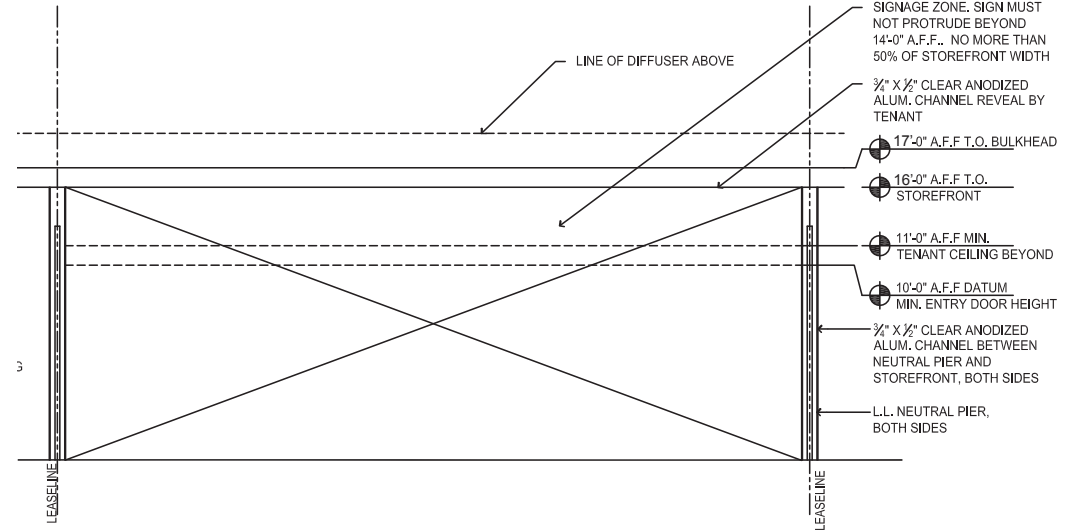
TYPICAL PLAN - ZONE 4A

# STOREFRONT: ZONE 4B DETAILS

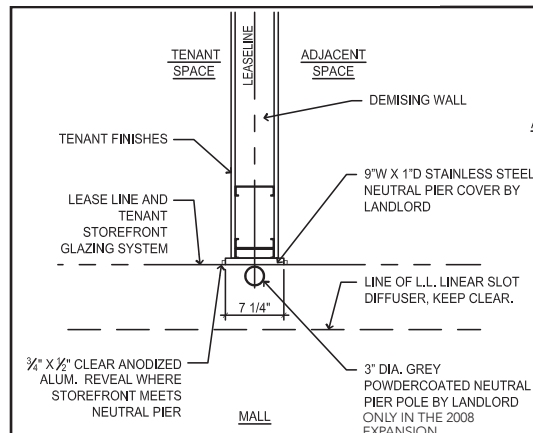
All work on this page by tenant except for the demising wall



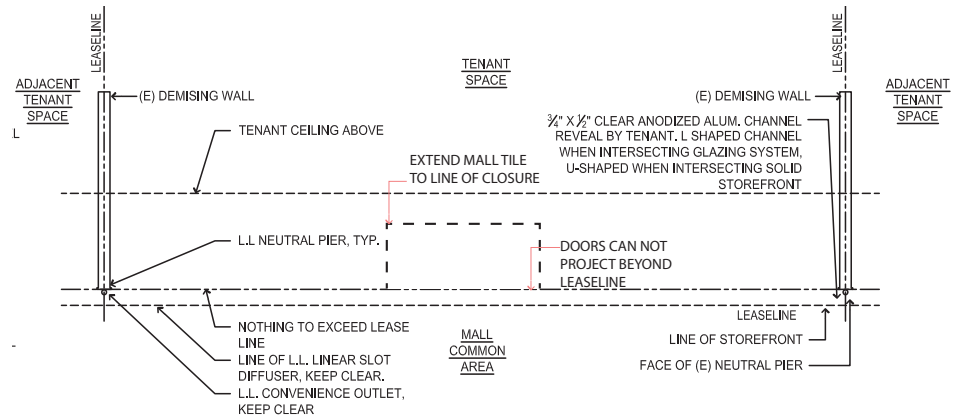
TYPICAL SECTION - ZONE 4B



TYPICAL ELEVATION - ZONE 4B

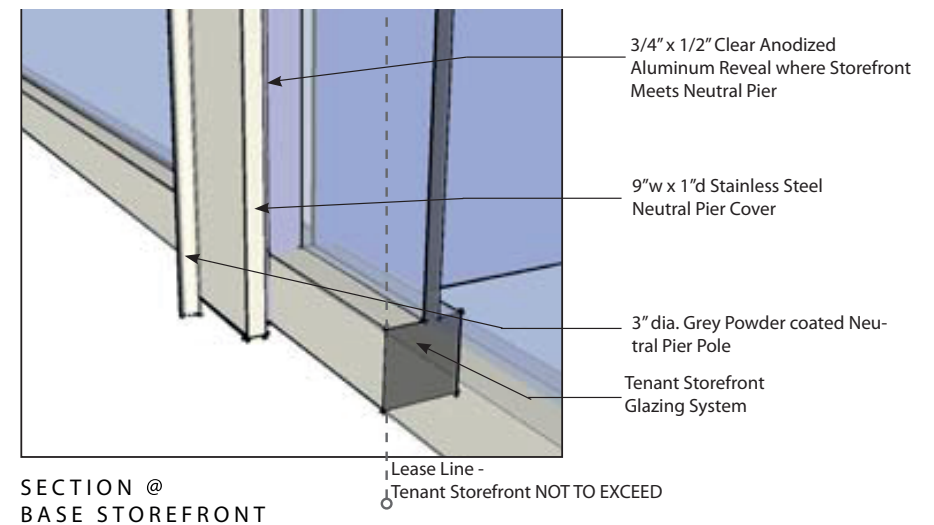
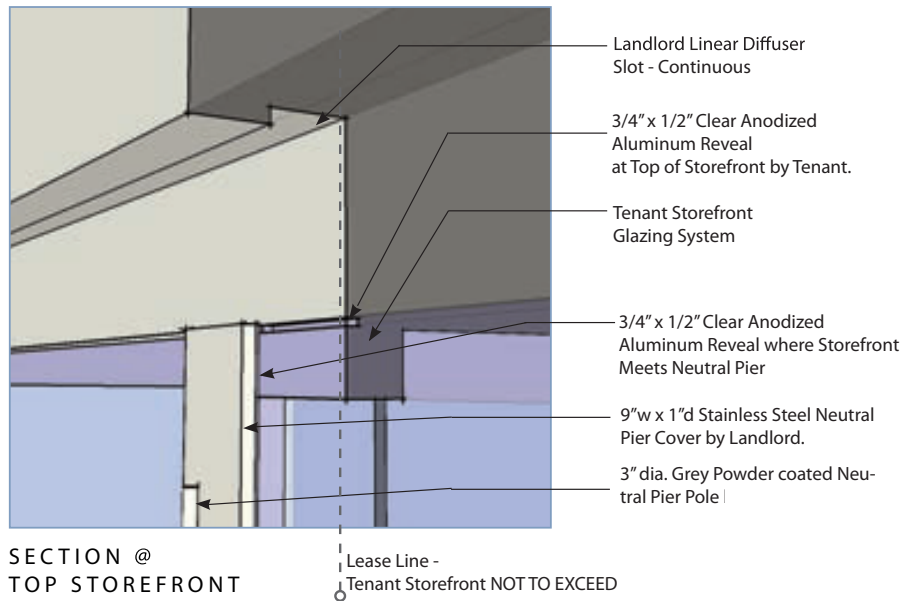


TYPICAL NEUTRAL PIER DETAIL - ZONE 4B



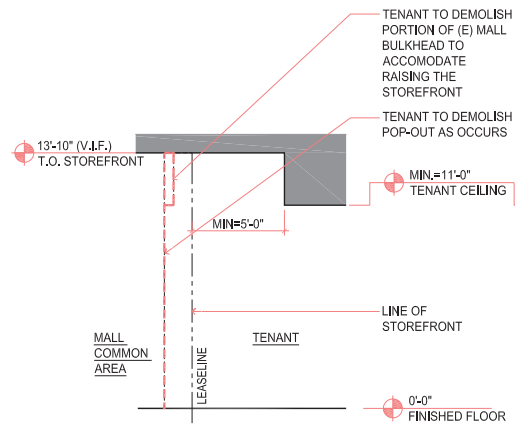
TYPICAL PLAN - ZONE 4B

# STOREFRONT: ZONE 4A AND 4B DETAILS

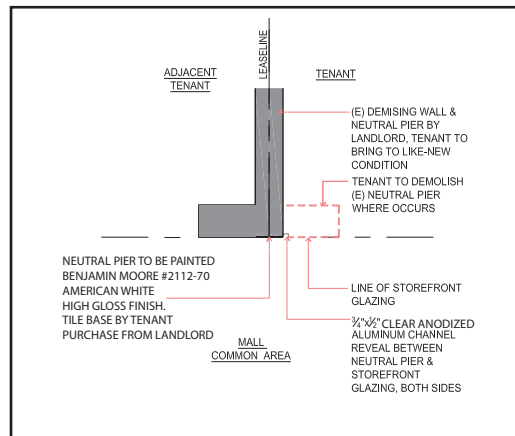


## TYPICAL NEUTRAL PIER DETAIL - ZONE 4

# STOREFRONT: ZONE 6 DETAILS

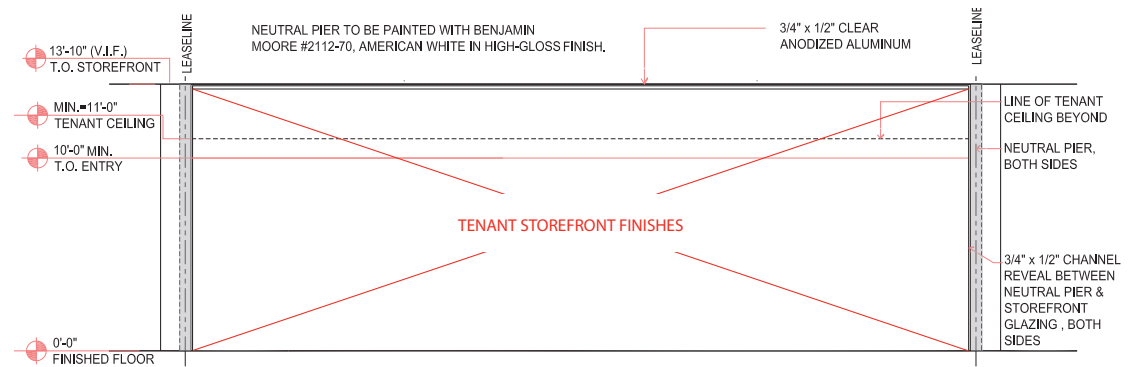


TYPICAL SECTION - ZONE 6

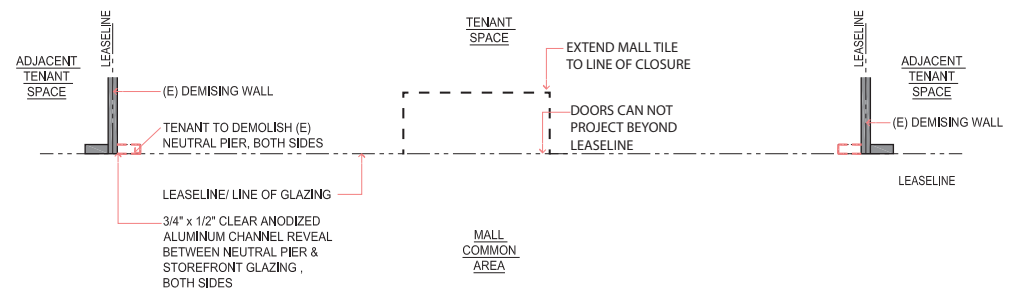


TYPICAL NEUTRAL PIER DETAIL - ZONE 6

All work on this page by tenant except for the demising wall



TYPICAL ELEVATION - ZONE 6

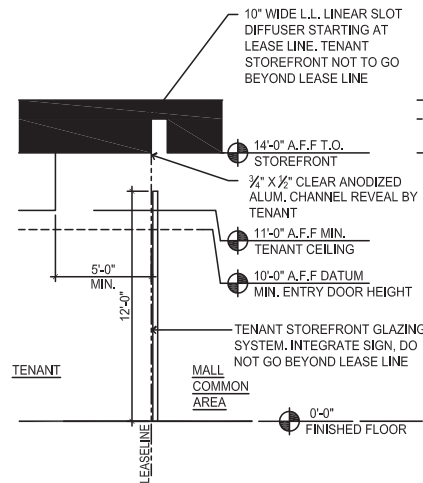


TYPICAL PLAN - ZONE 6

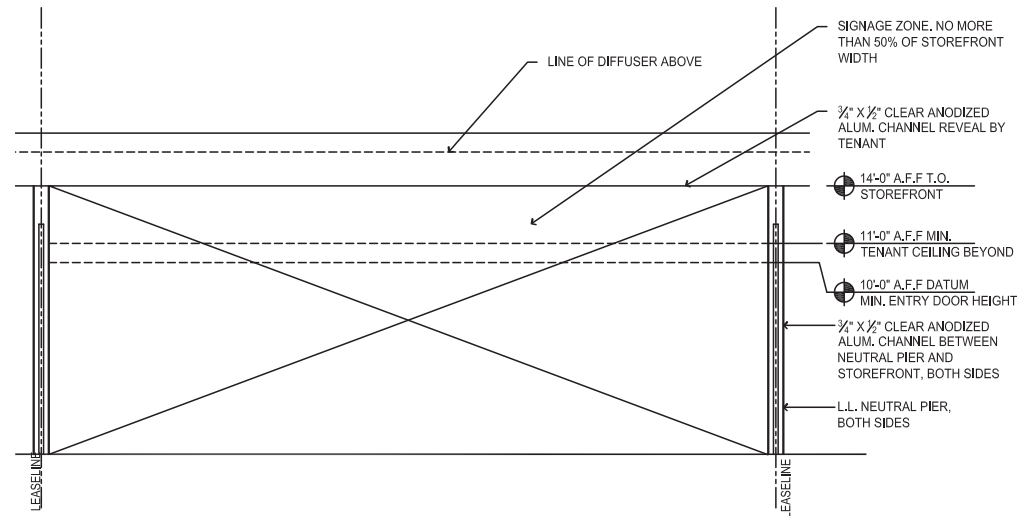
Note: Drawings not to scale

# STOREFRONT: ZONE 7 DETAILS

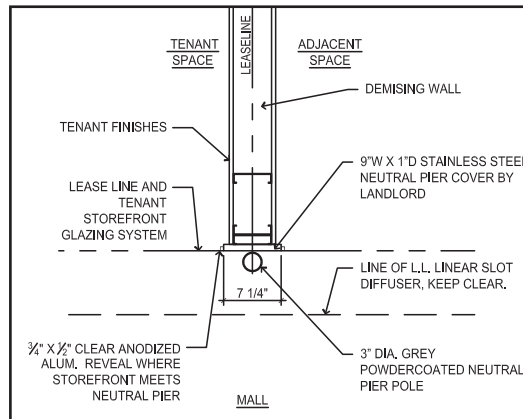
All work on this page by tenant except for the demising wall



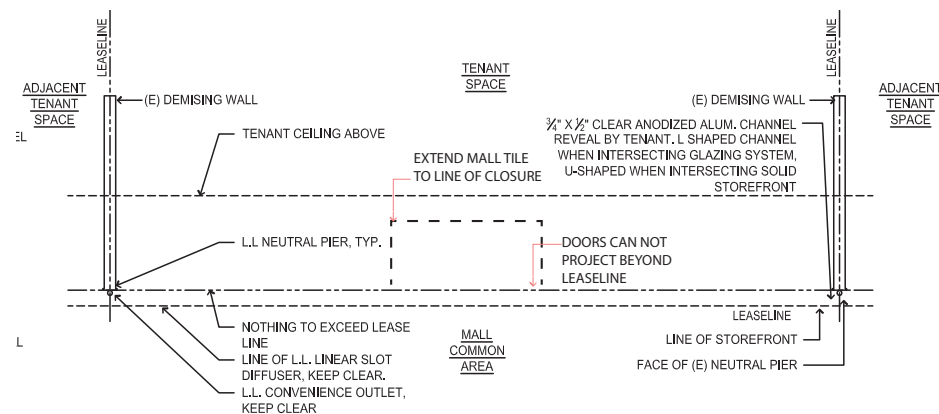
TYPICAL SECTION - ZONE 7



TYPICAL ELEVATION - ZONE 7

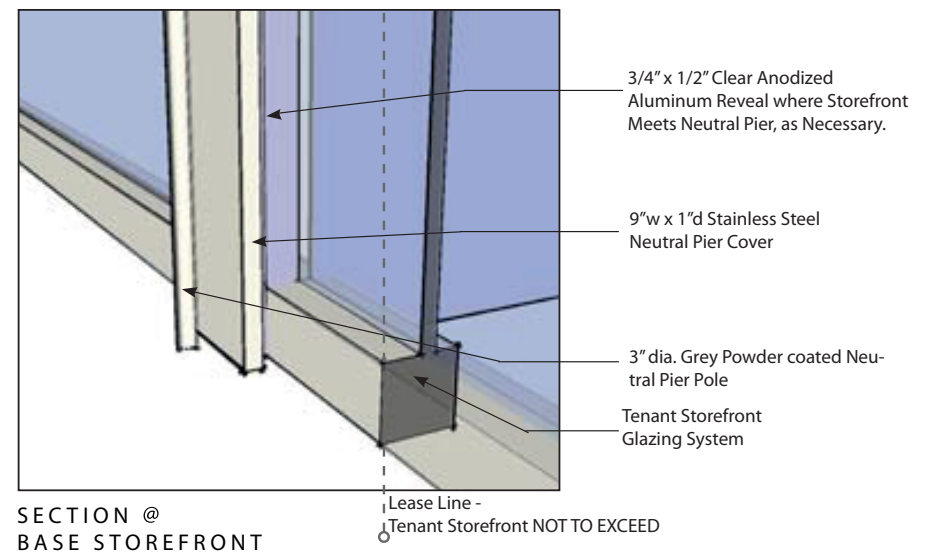
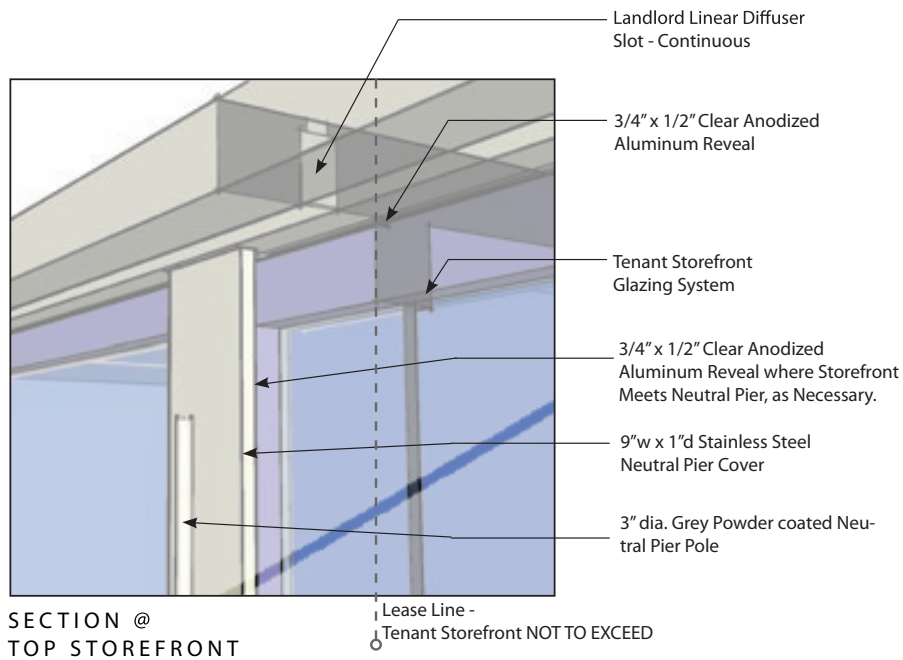


TYPICAL NEUTRAL PIER DETAIL - ZONE 7



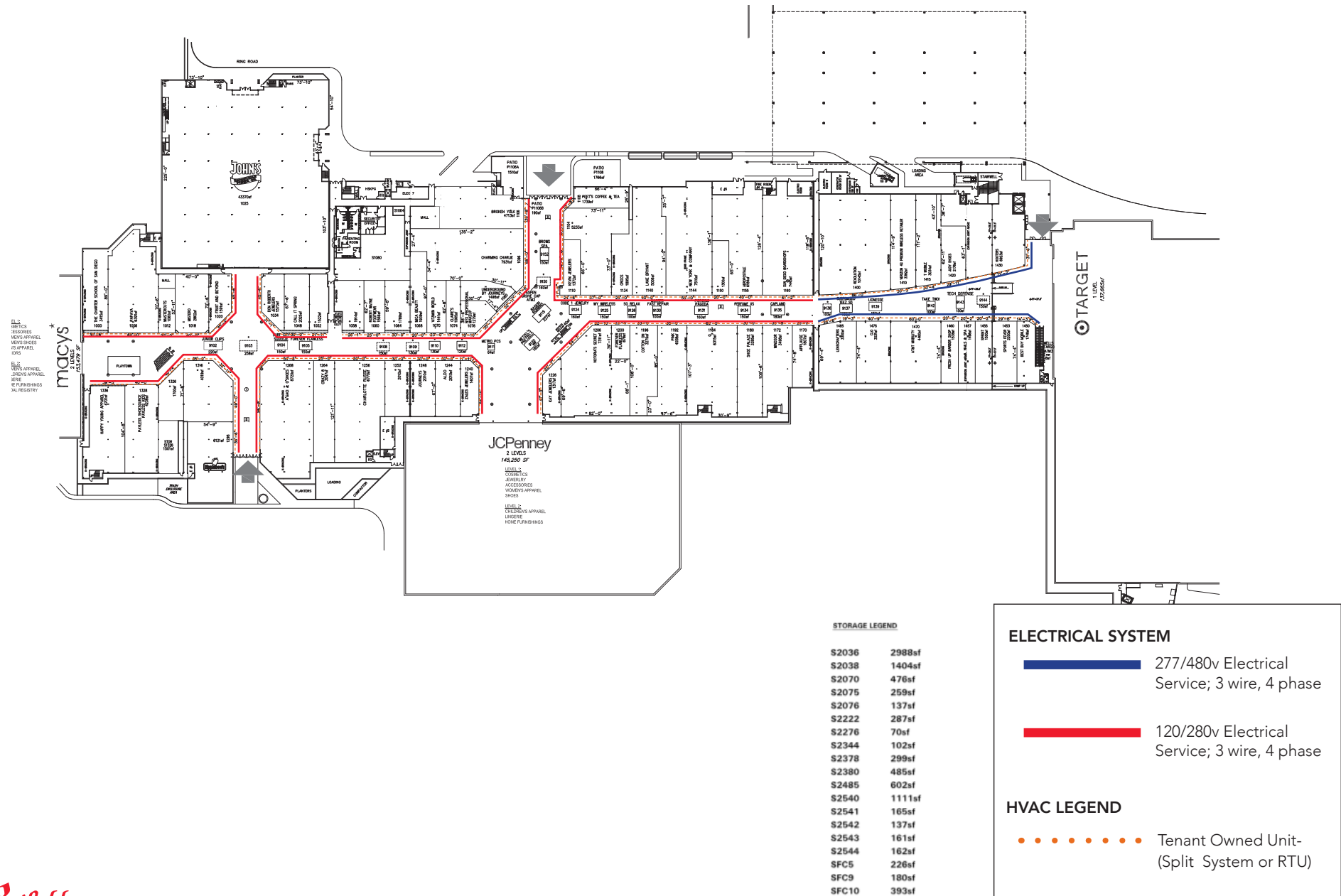
TYPICAL PLAN - ZONE 7

# STOREFRONT: ZONE 7 DETAILS



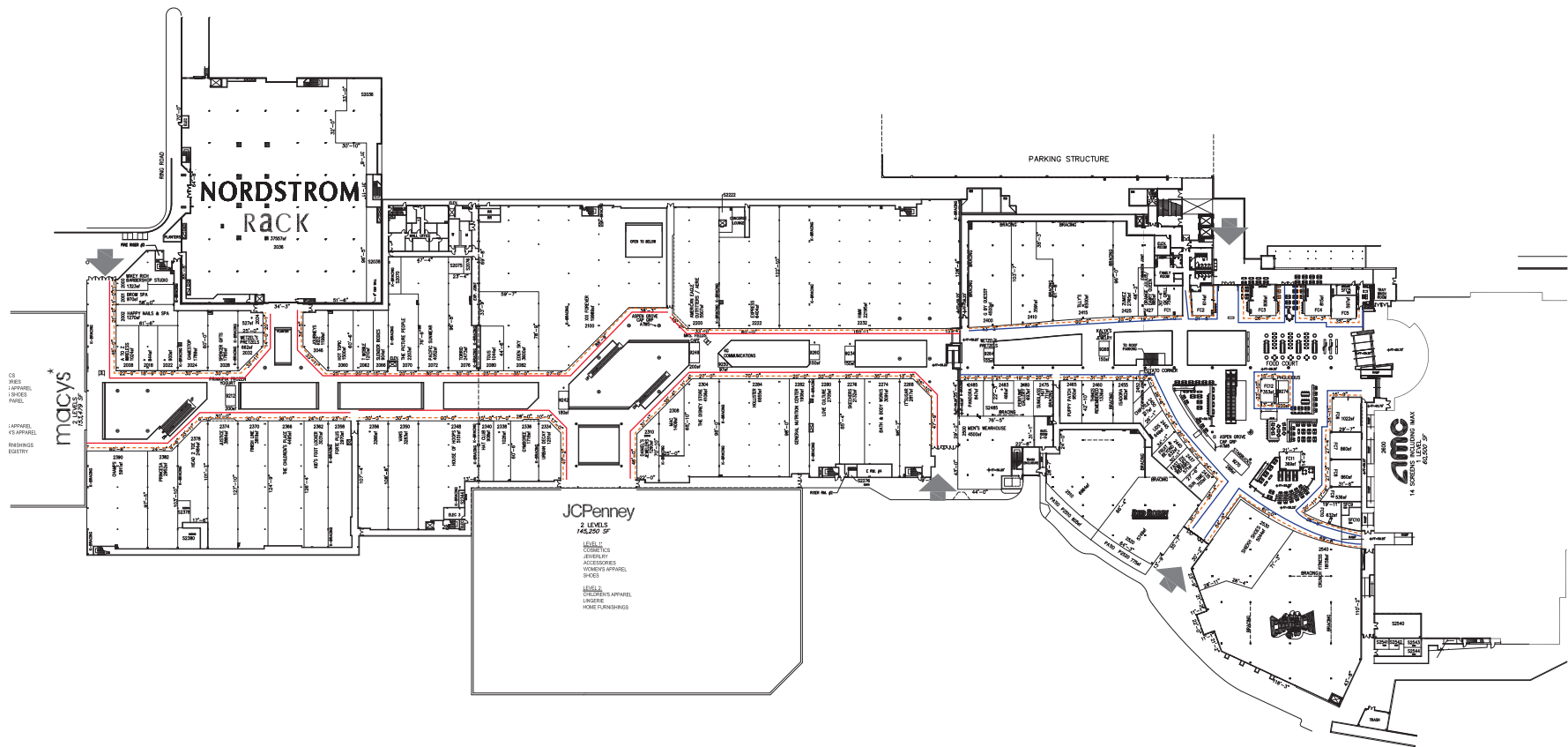
TYPICAL NEUTRAL PIER DETAIL - ZONE 7

# MEP MAPS: ELECTRICAL AND MECHANICAL\_ LEVEL ONE





# MEP MAPS: ELECTRICAL AND MECHANICAL\_ LEVEL TWO



## FOOD COURT LEGEND

FC1	758sf	GK GRILL
FC2	614sf	CINNABON
FC3	806sf	STONE OVEN GOURMET SANDWICHES
FC4	815sf	PANDA EXPRESS
FC5	597sf	SUBWAY
FC6	1022sf	BURGER KING
FC7	860sf	SBARRO
FC8	860sf	HIBACHI SAN
FC9	536sf	HOT DOG ON A STICK
FC10	632sf	CHARLEYS PHILLY STEAKS
FC11	369sf	TUTTI FRUTTI YOGURT
FC12	353sf	JAMBA JUICE

## STORAGE LEGEND

S2036	2988sf
S2038	1404sf
S2070	476sf
S2075	259sf
S2076	137sf
S2222	287sf
S2276	70sf
S2344	102sf
S2378	299sf
S2380	485sf
S2485	602sf
S2540	1111sf
S2541	165sf
S2542	137sf
S2543	161sf
S2544	162sf
SFC5	226sf
SFC9	180sf
SFC10	393sf

## ELECTRICAL SYSTEM

- 277/480v Electrical Service; 3 wire, 4 phase
- 120/280v Electrical Service; 3 wire, 4 phase

## HVAC LEGEND

- • • • • Tenant Owned Unit- (Split System or RTU)

# SUBMITTAL PROCEDURES:

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## HOW TO SUBMIT:

All drawings shall be submitted electronically at [www.westfieldtenantcoordination.com](http://www.westfieldtenantcoordination.com). A welcome letter with password access will be sent to the Tenant Contact (as listed in the lease documentation). If you have any trouble gaining access to the website contact one of the Westfield Tenant Coordination Team.

## WHAT TO SUBMIT:

All drawing submittal must be prepared by an architect or engineer registered with the State of New Jersey. It is the Tenant's sole responsibility to comply with all laws, codes, and regulations as may apply.

Drawing sheet format: 24"x36"

Document format: a single Adobe PDF containing all sheets, in order.

Plans must be submitted to Landlord for approval in the following three phases:

1. **PRELIMINARY SUBMITTAL**  
Design Intent Package with minimum:  
Color Rendering of Storefront
  - Material Sample Board
  - Floor Fixture Plan & RCP
  - Section at Storefront
  - Concept Inspirational Images
  - Photos of existing Concept (if available)
2. **FINAL SUBMITTAL**  
100% Set Submittal - Full Construction set as outlined in the following pages.
3. **SIGN SHOP DRAWINGS**  
Shop drawing set including all signs & graphics visible to the public.

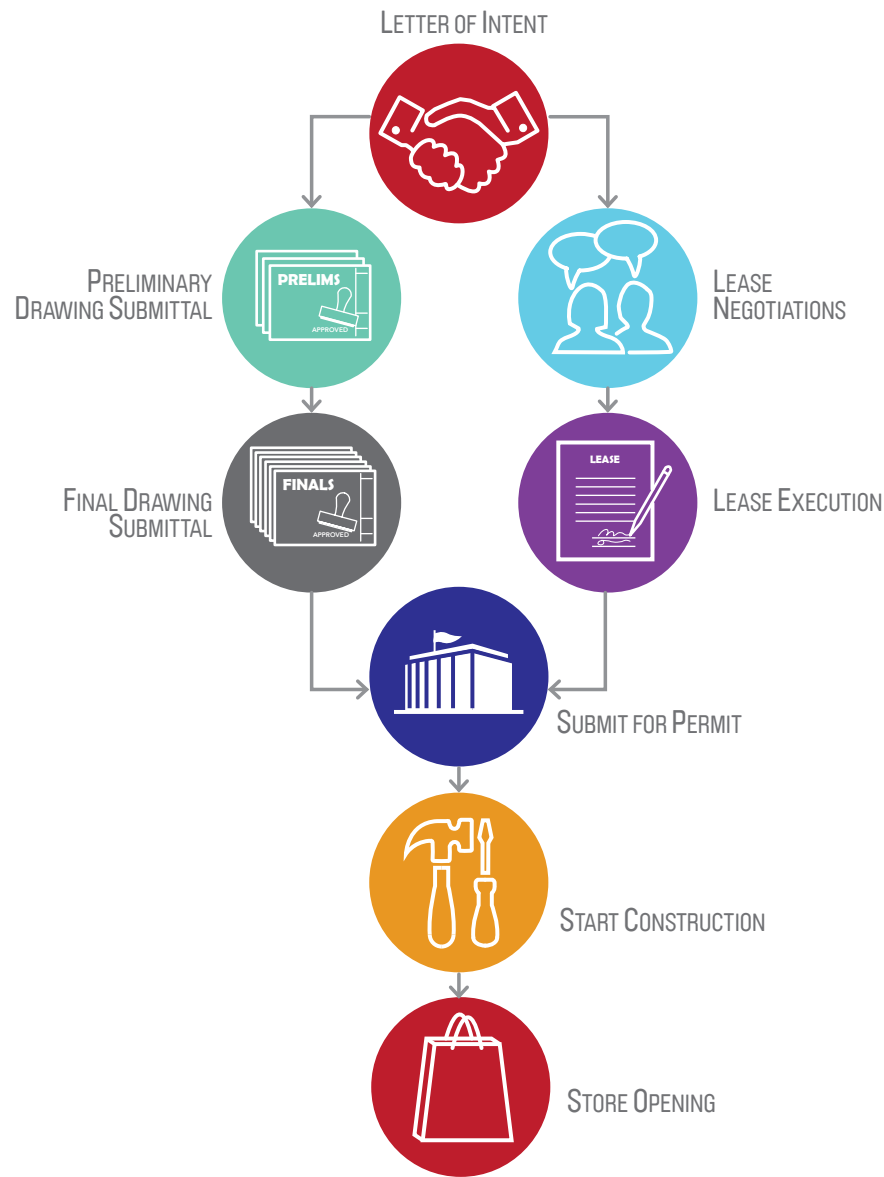
## LANDLORD APPROVAL:

Landlord's approval of the construction documents is for compliance with this criteria. By reviewing these drawings, the Landlord, its agent(s) and consultant(s) assume no responsibility for code compliance (including ADA requirements), dimensional accuracy, engineering accuracy or completeness of these drawings for construction purpose.

Landlord's Design Manager reserves the right to use discretion to assure all stores conform to the criteria and have a strong visual concept, use good design principles, and is harmonious with the surrounding tenants & base building.

Tenant & GC must have the stamped Landlord Approved drawing set onsite at all times during construction.

## PROJECT CRITICAL PATH:



## CONSTRUCTION:

- Tenant's General Contractor is required to contact Westfield's Mall Management Office (Mall Facilities Manager) and arrange a Preconstruction Meeting with him/her and Westfield's On Site Tenant Coordinator to go over all construction and installation requirements when working at the mall.

This meeting will discuss the following items, but not limited to:

- Building Permits
- Contractor's Fees
- All insurance requirements
- All bonds
- Access to Project
- Parking
- All Deliveries Schedules and Designated Locations
- Service Elevators Requirements
- Security Requirements
- Safety Requirements
- Construction Schedules
- Barricade Requirements
- Construction Utilities
- Required Landlord Approved Drawings
- Any Construction Restrictions